

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

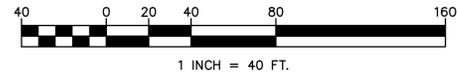
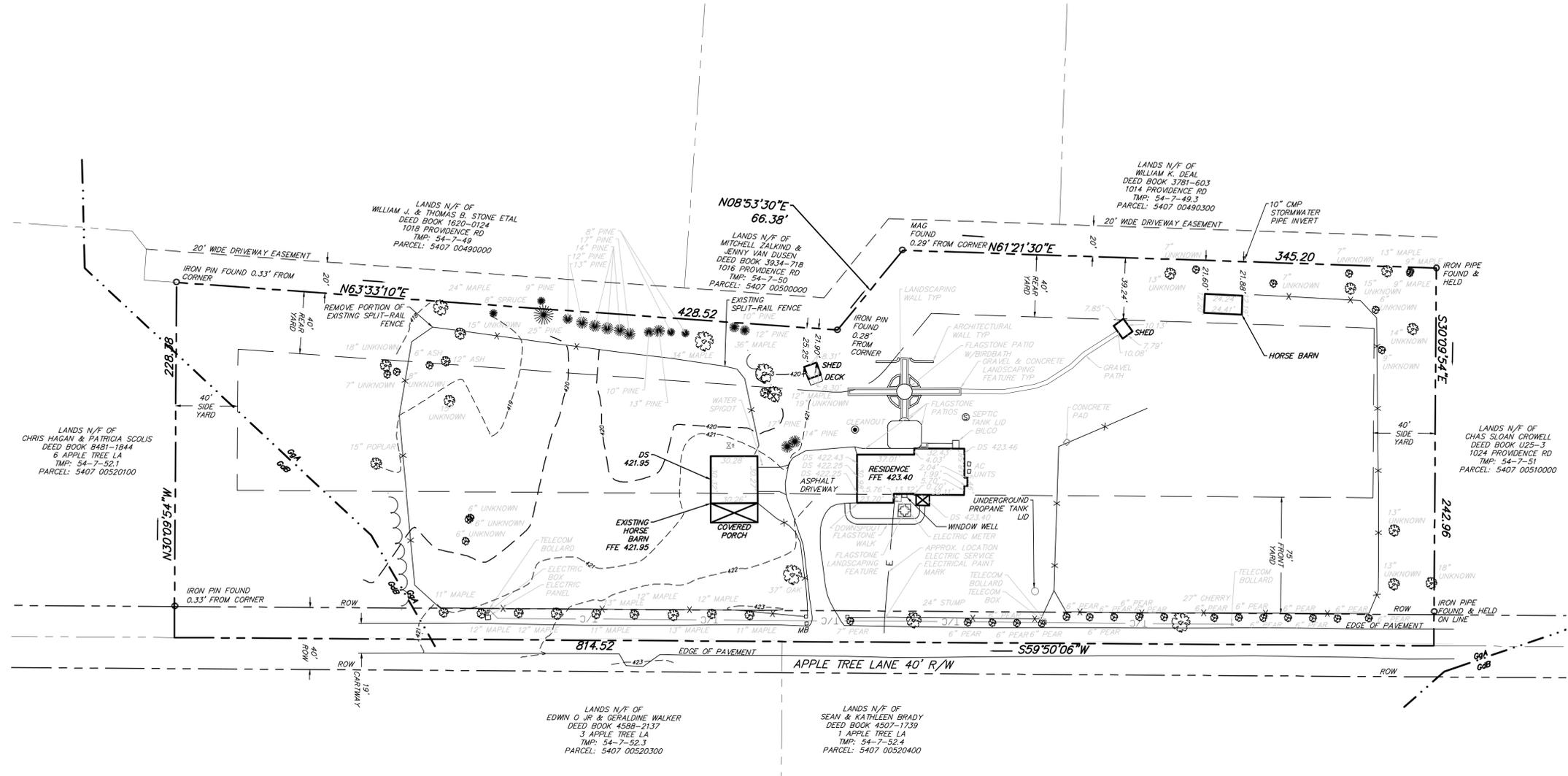
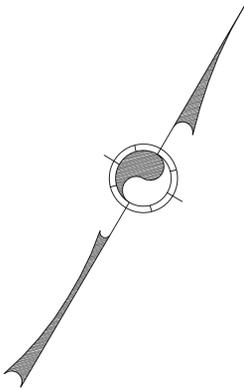
AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.

LINETYPE LEGEND

---	PROPERTY LINE
- - - -	ADJONER PROPERTY LINE
---	ROW LINE
---	BUILDING SETBACK
X X X	FENCE LINE
///	OVERHEAD ELECTRIC
E	ELECTRIC LINE
G	GAS LINE
T/C	TELECOM LINE
W	WATER LINE
SS	SANITARY LINE
ST	EXISTING STORM PIPES
372	EXISTING 1' CONTOUR
380	EXISTING 5' CONTOUR

SYMBOL LEGEND

○	IRON PIN
□	CONCRETE MONUMENT
⊠	HANDICAP PARKING SPACE
⊙	LIGHT POLE
⊕	SANITARY MANHOLE
⊗	WATER VALVE
○	BOLLARD
⊖	CLEANOUT
⊕	STORM MANHOLE
AC	AC UNIT
⊠	ELECTRIC BOX
⊕	FIRE HYDRANT
⊕	FIRE VALVE
⊕	GAS VALVE
⊕	EVERGREEN TREE
⊕	STORM INLET
⊕	TELEPHONE BOX
⊕	GAS METER
⊕	ELECTRIC MANHOLE
⊕	POSTED SIGN
⊕	PARKING SPACE COUNT



- GENERAL NOTES:**
- THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON JULY 21, 2020 AND DEPICTS CONDITIONS ON THAT DATE.
 - THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
 - PA ONE-CALL NUMBER FOR THIS SITE IS 20201982574.
 - THE VERTICAL DATUM SHOWN ON THIS PLAN IS PER NAVD88 OBTAINED VIA GPS NETWORK.
 - THIS SURVEY AND PLAN WAS COMPLETED WITHOUT THE AVAILABILITY OF A CURRENT TITLE REPORT AND SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE REPORT.
 - IN ACCORDANCE WITH FEMA PANEL 222 OF 380, MAP NUMBER 42029C02206, PREMISES IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

LOT DATA:

LOT AREA = 186,609 S.F. OR 4.28 AC (GROSS)
MINUS R.O.W. (16,290 S.F.) = 170,319 S.F. OR 3.91 AC (GROSS)

ZONING DISTRICT (RU) RURAL RESIDENTIAL:

LOT AREA	4 ACRE MIN.
LOT WIDTH	300 FEET MIN.
BLDG. AREA	10% MAX.
FRONT YARD	75 FEET MIN.
SIDE YARD	40 FEET MIN.
REAR YARD	40 FEET MIN.
HEIGHT	35 FEET MAX. (EXCEPT FARM BLDG)
IMPERVIOUS SURFACE	13% MAX.

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF WILLISTOWN TOWNSHIP, LATEST EDITION. BUILDINGS ARE EXISTING NON-COMPLYING WITH RESPECT TO THE FRONT YARD SETBACK.

EXISTING IMPERVIOUS COVERAGE:

RESIDENCE	2,048 SF*
BARN	1,214 SF*
SHEDS	148 SF*
COVERED PORCHES	433 SF*
DRIVEWAY	2,491 SF
CONCRETE	213 SF
FLAGSTONE	1,181 SF
DECKS	34 SF
GRAVEL	555 SF
WALLS	144 SF
CURBS	19 SF
BILCO	23 SF
AC UNITS	10 SF
TOTAL IMPERVIOUS	8,513 SF
% IMPERVIOUS	5.00%

*TOTAL BUILDING 3,843 SF
*% BUILDING 2.26%

SOURCE OF TITLE:
CAROLINE ANN FENKEL & ARTHUR M. BLANCHE
DEED BOOK 10197 PAGE 2119
4 APPLE TREE LANE
NEWTOWN SQUARE, PA 19073
T.M.P. 54-7-52.5
PARID 5407 00520500

PLAN MADE AT THE REQUEST OF:
ROBERT KIRK, R.T. KIRK CONSTRUCTION
AND
DR. CAROLINE FENKEL

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Serial Number: 20201982574

CALL BEFORE YOU DIG:
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776



MOMENEE, INC.
a Kams Company
ENGINEERING | PLANNING | SURVEYING
924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

EXISTING CONDITIONS

ZONING EXHIBIT
4 APPLE TREE LANE
WILLISTOWN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

APPLICANT	DR. CAROLINE FENKEL
ONE-CALL:	20201982574
DRAWN BY:	P.J.H.
CHECKED BY:	DS

FILE NO.:	20-195
SHEET	1 of 2
DATE:	AUGUST 18, 2020
SCALE:	1" = 40'

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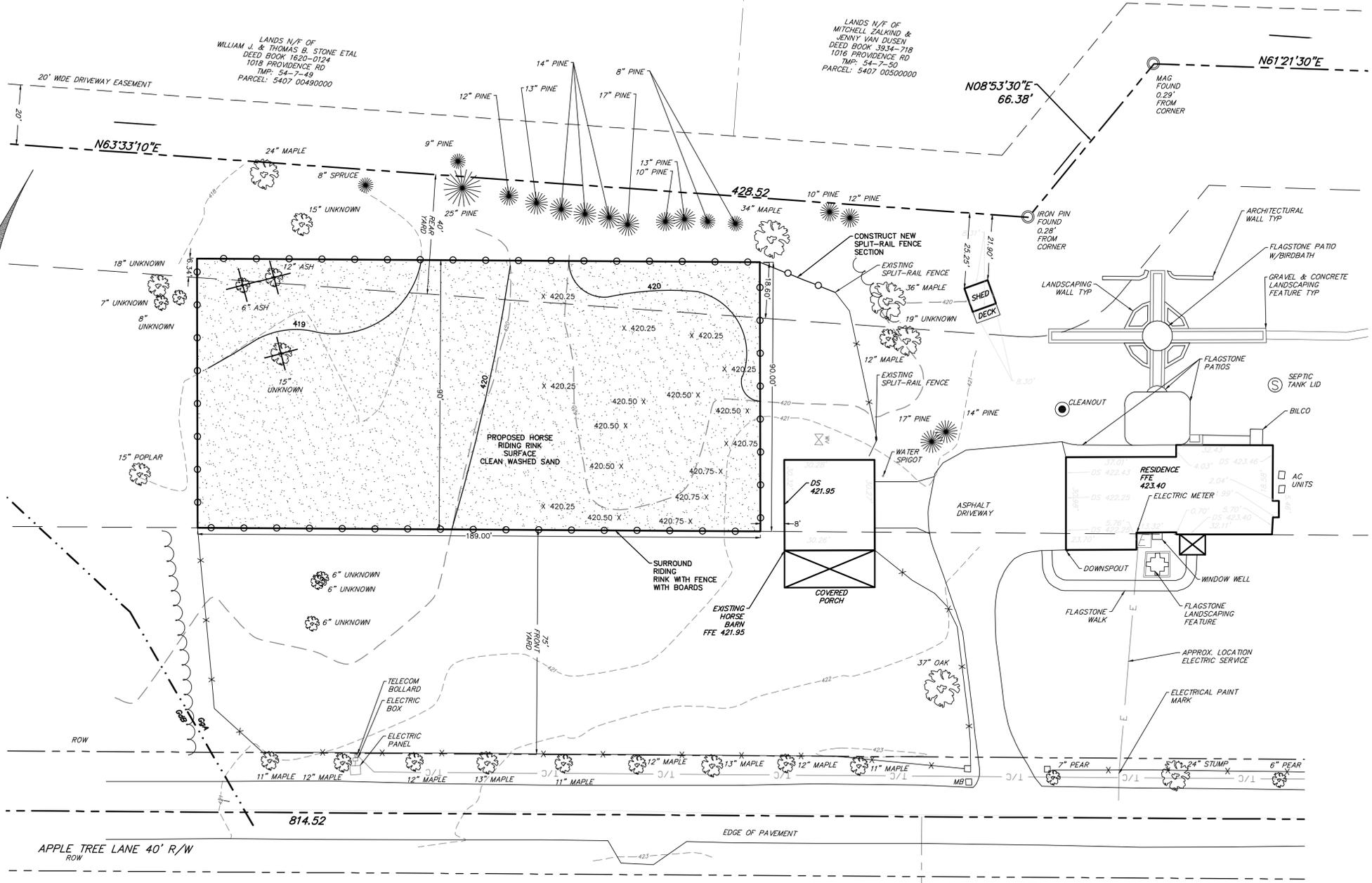
ZONING VARIANCES REQUESTED:
 ARTICLE XVIII §139-94.A.(1): AN ARBOR, TRELIS, GARDEN SHED, TOOL SHED OR SIMILAR UNINHABITABLE ACCESSORY STRUCTURE/BUILDING (BUT NOT TO INCLUDE A GARAGE FOR THE STORAGE OF AUTOMOBILES, A SWIMMING POOL, POOL HOUSE, OUTDOOR FIREPLACE, OUTDOOR KITCHEN, TENNIS COURT, BATHHOUSE OR OTHER RECREATIONAL FACILITY, WHICH IS SEPARATE FROM THE PRINCIPAL BUILDING), MAY BE LOCATED IN THE REQUIRED SIDE AND/OR REAR YARD, BUT NOT THE FRONT YARD AS FOLLOWS: (1) RU, RA, RA-1 (WITHOUT PUBLIC WATER) DISTRICTS. ACCESSORY STRUCTURES/BUILDINGS AS DEFINED HEREIN SHALL NOT BE LESS THAN 20 FEET FROM ANY PROPERTY LINE, PROVIDED THAT SUCH STRUCTURES/BUILDINGS ARE SITUATED A MINIMUM OF 50 FEET FURTHER BACK FROM THE FRONT PROPERTY LINE THAT THE REARMOST PORTION OF THE PRINCIPAL BUILDING. SUCH STRUCTURES/BUILDINGS SHALL BE NO MORE THAN NINE FEET IN HEIGHT. THE PROVISIONS OF THIS SUBSECTION SHALL NOT APPLY TO A SIDE OR REAR YARD WHICH ABUTS A STREET.

APPLICANT IS SEEKING TO CONSTRUCT A PORTION OF THEIR PROPOSED HORSE RIDING RINK (A RECREATIONAL FACILITY USE) WITHIN THE 40' REAR YARD SETBACK. APPLICANT PROPOSES TO HAVE THE HORSE-RIDING RINK BE SITUATED WITHIN 50 FEET OF THE REAR BUILDING LINE OF THE PRINCIPAL RESIDENCE.

ARTICLE XVIII §139-94.B: ANY STRUCTURE/BUILDING WITH A FOOTPRINT OF MORE THAN 150 SQUARE FEET SHALL NOT BE PERMITTED IN THE REQUIRED YARDS. A MAXIMUM OF TWO ACCESSORY STRUCTURES/BUILDINGS MAY BE PERMITTED IN THE SIDE AND/OR REAR YARDS PURSUANT TO THIS SECTION WHERE THE PRINCIPAL BUILDING IS SITUATED AT OR NEAR THE REAR YARD SETBACK LINE DUE TO ENVIRONMENTAL, INFRASTRUCTURE, AND/OR OTHER CONSTRAINTS IN THE FRONT YARD. THE ZONING OFFICER MAY, WHERE IN HIS/HER PROFESSIONAL JUDGEMENT THERE EXISTS AN UNDUE HARDSHIP, REDUCE THE PROPERTY LINE SETBACK FOR THE YARD EXCEPTION TO 10 FEET IN THE RU, RA, AND RA-1 (WITHOUT PUBLIC WATER) DISTRICTS, AND FIVE FEET IN THE RA-1 (WITH PUBLIC WATER), R-1, R-2, AND OSC DISTRICTS.

APPLICANT IS SEEKING TO CONSTRUCT A HORSE-RIDING RINK THAT EXCEEDS 150 SQUARE FEET IN THE REQUIRED 40-FOOT REAR-YARD SETBACK AREA AND PROPOSES TO RETAIN THE EXISTING SHED AND HORSE BARN THAT CURRENTLY LIE IN THE REAR-YARD SETBACK AREA.

PURPOSE NOTE:
 THE INTENT OF THIS PLAN IS TO DEPICT THE CONSTRUCTION OF AN OUTDOOR HORSE-RIDING RINK.



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PROPOSED IMPERVIOUS COVERAGE:

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NO IMPERVIOUS SURFACES ARE PROPOSED TO BE REMOVED OR ADDED

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4 APPLE TREE LANE

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REVISIONS

NO.	DATE	COMMENTS

